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**F/YR23/0811/F**

**Applicant: Mr Steven Flowers  
Cambridge Housing Society**

**Agent : Mr Paul Dunthorne  
The Design Partnership**

**Land East And South Of 47, Doddington Road, Wimblington, Cambridgeshire**

**Erect 14 x dwellings (2 x single-storey 1-bed, 2 x single-storey 2-bed, 8 x 2-storey 2-bed and 2 x 2-storey 3-bed) and associated works, including formation of vehicular access, footpath along Doddington Road and retention of public right of way through site**

**Officer recommendation: Grant**

**Reason for Committee: Letters of representation contrary to Officer recommendation**

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**Government Planning Guarantee**

**Statutory Target Date For Determination: 2 January 2024**

**EOT in Place: Yes**

**EOT Expiry: 14 March 2025**

**Application Fee: £6468**

**Risk Statement:**

**This application must be determined by 14.03.25 otherwise it will be out of time and therefore negatively affect the performance figures.**

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**1 EXECUTIVE SUMMARY**

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| <p>1.1 The proposal seeks full planning permission for the erection of 14no. affordable dwellings on Land off Doddington Road, Wimblington.</p> <p>1.2 The submitted scheme is considered to represent a small village extension on the southern edge of the settlement, which is classed as a 'Growth Village'. It is considered that the location of the site and scale of the development is acceptable in principle in accordance with Policy LP3.</p> <p>1.3 The proposed dwellings are considered to be acceptable in keeping with the surrounding area in terms of their size, scale, external appearance and proposed palette of materials. Further, the proposed mix of dwellings is considered to be suitably varied across the site.</p> <p>1.4 The submitted layout is considered to provide suitable private amenity space provision and the relationships between existing and proposed dwellings such that the amenities enjoyed by existing properties will not be duly harmed. The proposal is considered to satisfy Policy LP16 in terms of character and</p> |
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appearance, and residential amenity.

- 1.5 The application site is located in Flood Zone 1 and is therefore not considered to be at risk of flooding, therefore complying with Policy LP14 and Chapter 14 of the NPPF.
- 1.6 Following the submission of the additional information throughout the application, it is considered that the proposal has appropriate regard to Policy LP19 in terms of its biodiversity impact.
- 1.7 Substantial positive weight is given in respect of the proposal to provide a wholly affordable housing scheme.
- 1.8 It is therefore considered in the overall planning balance that the scheme is acceptable in planning terms and is accordingly recommended for approval subject to completion of a S106 agreement.

## **2 SITE DESCRIPTION**

- 2.1 The application site is located on Land East and South of 47 Doddington Road. The land currently comprises amenity land associated with the existing host dwelling and is currently undeveloped and covered in soft landscaping features.
- 2.2 There is existing residential development to the North, West and South of the site, with the Eastern boundary of the site abutting the A141. The main settlement of Wimblington is located to the North of the site, with 3no. bungalows to the south of the site representing the end of development in the settlement.
- 2.3 The site levels generally sit approximately 0.5m lower than the level of Doddington Road to the West, the road from which access to the site will be gained.
- 2.4 There is a designated public footpath located in the North-East corner of the site, joining from Parkfield Lane and dog-legging to the eastern boundary of the site, towards the A141.

## **3 PROPOSAL**

- 3.1 The proposal seeks full planning permission for the erection of 14no. dwellings, comprising the following house types:
  - 2 x single-storey 1-bed
  - 2 x single-storey 2-bed
  - 8 x one and a half-storey 2-bed
  - 2 x one and a half-storey 3-bed
- 3.2 The proposal also includes the formation of two vehicular accesses onto Doddington Road, the creation of a footpath along Doddington Road, and the retention of the public right of way through the site.
- 3.3 The application advises that the development is 100% affordable dwellings, with 10no. of the properties being affordable rent, and 4no. being shared ownership.
- 3.4 The proposed palette of materials consists of red facing brickwork and dark roof slates.

- 3.5 The application has been amended during the life of the application, primarily to address concerns over visual impacts, residential amenity, drainage and ecology.
- 3.6 Full plans and associated documents for this application can be found at:

<https://www.publicaccess.fenland.gov.uk/publicaccess/>

## **4 SITE PLANNING HISTORY**

- 4.1. There is no site history that is considered relevant to the determination of this application.

## **5 CONSULTATIONS**

### **5.1 Wimblington Parish Council – 13.11.2024**

*Further to our Parish Council meeting last night, Councillors can find no reason to object to the above planning application.*

*However, we are mindful of residents objections and would ask that the leylandii hedge which is going to be removed is replaced either with native hedging or a closed board fence, to ensure privacy for current and new residents.*

### **5.2 Environmental Health – 11.11.2024**

*The content of the Noise Assessment provided by Acoustic Associates (ref: SEM/J3792/18575-1) is noted and accepted. The noise mitigation measures appear acceptable to ensure compliance with nationally recognised acoustic standards, notably BS8233:2014 'Guidance on sound insulation and noise reduction for buildings' for both internal and external amenity areas.*

*Whilst the report is accepted, confirmation will be required to ensure that in the event planning consent is granted, the recommended noise mitigation measures are then implemented into the design to ensure adequate protection for future residents. This will be most appropriately achieved by securing a condition so that an exact noise mitigation scheme in accordance with the Recommendations set out in Section 3 of the report is submitted in writing and agreed by the Local Planning Authority prior to the commencement of habitation. For internal amenity given that the orientation of the rooms is already set, the appropriate minimum specified glazing, ventilation and façade materials will necessary, and for external amenity the mitigation measure of achieving a 2.4m high acoustic barrier constructed as specified in the report and depicted in Figure 9 – Acoustic Barrier Minimum Specification on p34.*

### **5.3 Cambridgeshire County Council Highways – 06.11.2024**

*On the basis of the information submitted, from the perspective of the Local Highway Authority, I consider the proposed development is acceptable*

### **5.4 Anglian Water- 05.11.2024**

No objection subject to informatives

### **5.5 Tree Officer – 28.10.2024**

*I have no objections. If you are minded to approve I would suggest a pre commencement condition is included to provide a robust tree protection method statement for the trees to be retained. A condition for new planting would also be required to include new trees and shrubs to benefit wildlife in terms of food source and habitat as well as long term retention and amenity. The scheme will need to include tree and shrub species that offer seasonal flowers and berries, with consideration into where these are planted to ensure berry drop or out growing the location does not become a future issue.*

#### **5.6 Cambridge Fire & Rescue Service – 13.11.2023**

*With regard to the above application, should the Planning Authority be minded to grant approval, the Fire Authority would ask that adequate provision be made for fire hydrants, which may be by way of Section 106 agreement or a planning condition.*

#### **5.7 Cambridgeshire County Council Archaeology – 18.10.2024**

No objection subject to condition for 'Written scheme of investigation'

#### **5.8 East of England Ambulance Service – 04.07.2024**

No objection subject to financial contribution of £4,578 to be secured via S106

#### **5.9 Cambridgeshire County Council Ecology – 01.03.2024**

The application provides insufficient evidence to demonstrate the level of impact of the scheme on biodiversity. It is not possible to determine if the scheme accords with Fenland Local Plan 2014 policy LF-19 which seeks to conserve, enhance and promote the biodiversity interest. Nor, whether the LPA will meet its statutory duties to conserve biodiversity (Section 40, Natural Environment and Rural Communities Act 2006).

We therefore recommend refusal, unless the following information is provided:

1. Updated Preliminary Ecological Appraisal Report to reflect the submitted Site Plan (including change to red-line boundary and loss of existing trees)
2. Reptile surveys
3. BNG assessment

#### **5.10 FDC Ecology**

**06.02.2025**

##### Common Lizards

Reptile surveys undertaken to inform the application have found a good population of breeding Common Lizards on the site. Common Lizards carry a high level of legal protection under the terms of the Wildlife and Countryside Act 1981 (as amended). I would agree with the view of the ecological consultants who carried out the surveys that the population would be unlikely to be sustainable in situ if the development were to be permitted. The lizard population will therefore need to be translocated to a suitable alternative site, and this site will need to be managed in the long-term so as to be favourable for reptiles. I would advise that a Reptile

Mitigation Strategy needs to be prepared, giving full details of the translocation exercise, and other measures to be implemented to avoid any harm to reptiles. Details of potential translocation sites should be put forward before the application is decided, to provide confidence that it would be possible to conserve the lizard population if permission were to be granted.

### Habitats

There are some locally valuable habitats on the site, including a remnant orchard. Efforts should be made to protect retained areas of habitat, and to compensate for habitat losses through new landscaping, as far as is possible. A Construction Environmental Method Statement should be required to be prepared by Condition, including details of measures to be taken to protect any retained habitats on the site during the course of any site clearance and construction works.

I would further advise that, as a Condition of any permission which may be granted to the proposals, a detailed Landscape Creation and Management Plan should be required to be prepared and, once approved, implemented in full. The Plan should include measures for wildlife conservation, for example the installation of bird nesting and bat roosting boxes, gaps in fence lines to allow small mammals to move through the site and wildlife-friendly native planting schemes. Since fruit trees will be lost to the scheme, any new tree planting proposed should include replacement fruit trees.

### Biodiversity Net Gain

I note that since the application was submitted prior to Feb 2024 it is not subject to statutory biodiversity net gain. However, notwithstanding this, efforts should still be made to introduce biodiversity enhancement measures into the Landscape Plan as recommended above.

## **20.02.2025**

*I am reassured that there is a suitable receptor site available for the translocation of the common lizard population on the application site, and I would consider that the application could now go forward for determination.*

*However, currently I would not regard the plans for reptile translocation or future management of the receptor site as sufficiently comprehensive. For example, full details of the translocation exercise have not yet been provided, and I would consider that there are further enhancements of the receptor site which could be implemented (for example, creating new refuges and hibernacula). There is also limited information available concerning any existing lizard populations at or near the receptor site.*

*I would therefore advise that a Condition should be placed on any permission which may be granted to the proposals to require the preparation and implementation of a fully comprehensive Reptile Mitigation Strategy.*

## **5.11 Refuse Service – 13.01.2025**

Following the submission of a revised plan, no objections were raised to the scheme in terms of the ability of a refuse vehicle to safely use the site.

## **5.12 Definitive Maps Team – 20.11.2024**

Public footpath 21, Wimblington runs through the east of the site. To view the location of the footpath, please view our interactive map online which can be found at <http://my.cambridgeshire.gov.uk/myCambridgeshire.aspx>.

There is no legally defined and recorded width for Public Footpath 21, Wimblington. Where there is no legally defined width for a public right of way, we are not able to advise what the width would be. As the dimensions are not known, we cannot guarantee that the applicant would not be encroaching upon the highway. The applicant therefore would proceed with any development that might affect the highway at their own risk.

It appears from the Block Plan that the developer aims to change the surface of part of the Public Footpath 21, Wimblington. We would like to make the developer aware that a change of surface authorisation application must be submitted to our rights of way team, before any works are undertaken. Secondly, a change in surface would require the public footpath to have a legally defined width. Footpath 21 does not have a legally defined width, and so would require a Definitive Map Modification Order to determine this, which would take a number of years to complete.

### **5.13 Lead Local Flood Authority – 10.12.2024**

We have reviewed the following documents:

- Flood Risk Assessment and Drainage Strategy, Rossi Long Consulting, Ref: 221536, Dated: July 2024

Based on these, as Lead Local Flood Authority (LLFA) we have no objection in principle to the proposed development.

The above documents demonstrate that surface water from the proposed development can be managed through the use of permeable paving, restricting surface water discharge to a combined rate of 1.1l/s for both outfalls using 20mm orifice.

The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides water quality treatment which is of particular importance when discharging into a watercourse.

Water quality has been adequately addressed when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual.

We request that conditions are imposed.

### **5.14 Cambridgeshire County Council Waste and Minerals – 15.11.2023**

The site lies within a Sand and Gravel Mineral Safeguarding Area which is safeguarded under Policy 5 of the Cambridgeshire and Peterborough Minerals and Waste Local Plan (July 2021). This policy seeks to prevent mineral resources of local and/or national importance being needlessly sterilised. Policy 5 sets out a number of exemptions (criteria (a) – (h)), for when Policy 5 is not applicable, none of which relevant in this case. It then goes on to set out that that development will only be permitted in certain circumstances (criteria (i) – (k)). The application documentation does not appear to make any reference to the safeguarded minerals, or Policy 5. Consequently criteria (i) – (k) have not been demonstrated,

*leaving criterion (I), which states that:*

*“development will only be permitted where it has been demonstrated that there is an overriding need for the development (where prior extraction is not feasible) \*\*”.*

*In this instance the MWPA considers that, although the extent of the resource within the site is unknown that complete prior extraction is, in this case, unlikely to be feasible.*

*Should the Planning Authority be of the view that there is an overriding need for the development, the MWPA will be content that Policy 5 has been addressed, subject to the following informative being included in any permission:*

*“The site lies within a Sand and Gravel Mineral Safeguarding Area, which indicates that there may be an underlying sand and gravel resource. In this instance, the Planning Authority considers that prior extraction is unlikely to be feasible and that there is an overriding need for the development. Prior extraction of the resource has, therefore, not been required in this instance. However, the applicant is encouraged to make best use of any sand and gravel that may be incidentally extracted as part of the development.”*

#### **5.15 Designing out Crime – 07.03.2023**

No objection subject to conditions

#### **5.16 Cambridgeshire County Council S106 Officer – 15.11.2023**

No objection subject to financial contribution to be secured via S106

#### **5.17 NHS – 26.10.2023**

No objection subject to financial contribution of £11,534.59 to be secured via S106

#### **5.18 Housing Strategy and Enabling Officer – 25.10.2023**

*On developments where 10 or more homes will be provided, the provisions of Policy LP5 of the Fenland Local Plan seeking 25% affordable housing apply. As I understand it, this application is coming forward as 100% wholly affordable housing.*

*We are pleased to see that the developers are working alongside CHS to deliver the proposal at Land East And South Of 47 Doddington Road Wimblington Cambridgeshire as an 100% wholly affordable housing scheme.*

*In the Design & Access Statement submitted as part of this application, I can see the schedule and tenure of accommodation proposed below:*

*We are also pleased to see a range of dwelling types and sizes are proposed for the site, comprising of 1,2,3 & 4 bedroom houses in order to accommodate a variety of households.*

*The above mix is proposing a tenure split of 10 affordable rent and 4 shared ownership tenure. We are happy to support the above housing and tenure mix.*

*If this site is unable to come forward as 100% affordable housing, we would like to see that Policy LP5 of the Fenland Local Plan is complied with.*

## **5.19. Local Residents/Interested Parties**

### **Objectors**

A total of 26 letters of objection were received from residents in Wimblington (Doddington Road, Parkfield Lane & Eastwood End), with the following points raised:

- Existing bungalows will be overlooked by two-storey properties
- Increased parking on Doddington Road due to lack of visitor parking
- The properties will be out of keeping with those in the area
- Development appears cramped
- Increased noise disturbance and dust from construction
- Existing services and infrastructure cannot cope with added properties
- Harm to biodiversity in the area
- Two large estates currently being built close to the site
- Damage to the highway from construction vehicles
- Increased traffic on Doddington Road making it unsafe for existing properties to enter and exit their driveways
- Loss of value of existing properties
- Flooding issue on highway

## **6 STATUTORY DUTY**

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014) the Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021).

## **7 POLICY FRAMEWORK**

### **National Planning Policy Framework (NPPF)**

Chapter 2 - Achieving sustainable development

Chapter 4 – Decision-making

Chapter 5 – Delivering a sufficient supply of homes

Chapter 9 – Promoting sustainable transport

Chapter 11 – Making effective use of land

Chapter 12 – Achieving well-designed and beautiful places

Chapter 14 – Meeting the challenge of climate change, flooding and coastal change

Chapter 15 – Conserving and enhancing the natural environment

Chapter 17 – Facilitating the sustainable use of minerals

### **National Planning Practice Guidance (NPPG)**

Determining a Planning Application

### **National Design Guide 2021**



Context  
Identity  
Built Form  
Nature  
Uses  
Homes and Buildings

#### **Fenland Local Plan 2014**

LP1 – A Presumption in Favour of Sustainable Development  
LP2 – Facilitating Health and Wellbeing of Fenland Residents  
LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside  
LP4 – Housing  
LP5 – Meeting Housing Need  
LP13 – Supporting and Managing the Impact of a Growing District  
LP14 – Responding to Climate Change and Managing the Risk of Flooding in Fenland  
LP15 – Facilitating the Creation of a More Sustainable Transport Network in Fenland  
LP16 – Delivering and Protecting High Quality Environments across the District  
LP19 – The Natural Environment

#### **Cambridgeshire and Peterborough Minerals and Waste Local Plan 2021**

Policy 5 - Mineral Safeguarding Areas  
Policy 10 - Waste Management Areas (WMAs)  
Policy 14 - Waste management needs arising from residential and commercial Development  
Policy 16: -Consultation Areas (CAS)

#### **Delivering and Protecting High Quality Environments in Fenland SPD 2014**

DM3 – Making a Positive Contribution to Local Distinctiveness and character of the Area

#### **Developer Contributions SPD 2015**

#### **Cambridgeshire Flood and Water SPD 2016**

#### **Emerging Local Plan**

The Draft Fenland Local Plan (2022) was published for consultation between 25th August 2022 and 19 October 2022, all comments received will be reviewed and any changes arising from the consultation will be made to the draft Local Plan. Given the very early stage which the Plan is therefore at, it is considered, in accordance with Paragraph 48 of the NPPF, that the policies of this should carry extremely limited weight in decision making. Of relevance to this application are policies:

LP1: Settlement Hierarchy  
LP2: Spatial Strategy for the Location of Residential Development  
LP5: Health and Wellbeing  
LP7: Design  
LP8: Amenity Provision  
LP12: Meeting Housing Needs  
LP20: Accessibility and Transport  
LP21: Public Rights of Way  
LP22: Parking Provision

LP24: Natural Environment  
LP25: Biodiversity Net Gain  
LP27: Trees and Planting  
LP28: Landscape  
LP32: Flood and Water Management

### **Wimblington and Stonea Neighbourhood Plan (Pre-Submission Draft October 2024)**

Wimblington & Stonea Parish Council has carried out a pre-submission consultation on the draft plan, as required by Regulation 14 of the Neighbourhood Planning (General) Regulations 2012. The draft plan has not yet been submitted for examination. Given the very early stage which the draft plan is therefore at, it is considered, in accordance with Paragraph 49 of the NPPF, that the policies of this should carry very limited weight in decision making. Of relevance to this application are policies:

Policy RE1: Rural Character  
Policy RE2: Rural Character: Public Rights of Way  
Policy NE1: Protecting the Landscape  
Policy NE2: Biodiversity  
Policy SD1: Development and the Settlement Boundary  
Policy SD3: High-Quality Design  
Policy SD4: Provision of energy and water efficient buildings  
Policy SD5: Flood Risk  
Policy H1: Housing mix  
Policy TT1: Car Parking  
Policy TT2: Provision for pedestrians, cyclists and horse riders

## **8 KEY ISSUES**

- **Principle of Development**
- **Character and appearance**
- **Residential Amenity**
- **Flood Risk and Drainage**
- **Parking Provision and Highway Safety**
- **Public Right of Way**
- **Biodiversity Impact**
- **Biodiversity Net Gain (BNG)**
- **Community Infrastructure & Planning Obligations**
- **Resident's Concerns**

## **9 ASSESSMENT**

### **Principle of Development**

9.1. The proposal seeks full planning permission for the erection of 14no. dwellings, comprising the following house types:

- 2 x single-storey 1-bed
- 2 x single-storey 2-bed
- 8 x one and a half-storey 2-bed
- 2 x one and a half-storey 3-bed

- 9.2. The proposal also includes the formation of two vehicular accesses onto Doddington Road, the creation of a footpath along Doddington Road, and the retention of the public right of way through the site.
- 9.3. The application site is located in Wimblington, which is identified as a 'Growth Village' in Policy LP3 the Fenland Local Plan (2014). Development in locations such as this will be supported where they are "within the existing urban area or as a small village extension."
- 9.4. It should be noted that Policy LP3 caveats the principle of development in the settlements of Wimblington and Doddington to ensure that there is capacity at, or in the sewerage network leading to, the Waste Water Treatment in Doddington, a matter that will be considered later in this report.
- 9.5. The application site is situated at the southern end of the built form of Wimblington, but is bounded by existing residential development to the North, South and West of the site. It is also noted that the site currently comprises an existing residential property and its associated amenity space.
- 9.6. The proposal seeks the erection of 14no. dwellings, which is considered to represent a small extension to the village and not excessive when considering the size of Wimblington as a settlement, nor disproportionate to the scale and nature of building form seen in the area immediately surrounding the site.
- 9.7. Given the nature of development seen in the surrounding area, comprising of residential development in the settlement of Wimblington, it is considered that the application site is located within the existing urban area of the settlement, and therefore the principle of residential development in this location is acceptable having regard to Policy LP3. This is, however, subject to the proposal being considered acceptable in respect of its technical details.

### **Character and appearance**

- 9.8. The application site at present comprises a two-storey residential property and amenity land associated with this dwelling. The nature of residential development in the surrounding area comprises a mix of single-storey and two-storey properties, with development to the north, and closer to the nucleus of Wimblington consisting predominantly of two-storey dwellings. The development to the south, moving into the open countryside, is predominantly single storey properties, albeit with a number of two-storey properties also found to the south of the site.
- 9.9. The proposed mix of dwellings includes a total of 4no. single-storey properties and 10no. one and a half-storey properties. It is proposed that the units offer a mix of 1-bed, 2-bed and 3-bed properties. Given the nature of the development as a fully affordable scheme, it is considered that this housing mix is acceptable in this instance. Further, it is considered that this mix of dwellings will offer a sensitive transition in the height of built form from the north to the south, resulting in a gradual step down from two-storey to bungalows before eventually reaching open countryside.
- 9.10. The bungalows are proposed to measure approximately 2.8m in height to the eaves, and 6.8m in height to the ridge. The larger properties are proposed to measure approximately 3.9m in height to the eaves and 7.9m in height to the ridge.
- 9.11. Topographical surveys have been carried out on the application site and surrounding, with these finding the site and surrounding area to be generally flat

with only small changes to the levels. It is therefore considered that the height of dwellings proposed would respond well to the heights of the existing properties in this location and appear acceptable in the context of the street scene.

- 9.12. The submitted site layout plan identifies a single access road measuring 6m in width to serve all plots except plot 1, which will benefit from its own access directly onto Doddington Road. The development will take the form of a cul-de-sac, with properties situated on both sides of the spine road, terminating at a turning head on the Eastern End of the site.
- 9.13. It is proposed that all the bungalows are detached properties, with the majority of the larger properties being pairs of semi-detached dwellings – with plots 4 & 9 the exception as detached dwellings. The properties along the southern side of the site will generally be served by tandem parking to the side of the dwellings, with the properties on the northern side of the site being served by frontage parking.
- 9.14. The proposed palette of materials has been identified as red facing brickwork and dark roof slates, although no specific details have been provided in respect of particular products that will be used. It is considered that these materials and colours proposed would be acceptable for use throughout the site and would be in keeping with the external appearance of nearby development, particularly on the Eastern side of Doddington Road, where these materials are particularly visible. It is recommended that a condition imposed on any permission granted requiring the submission of precise details of materials to be used on the development.
- 9.15. The application proposes 14 dwellings on a site measuring 0.6 hectares in size. This equates to approximately 23 dwellings per hectare. Whilst this is a slightly higher density than that seen in the surrounding area – Parkfield Lane to the north has a density of approximately 16 dwellings per hectare – it is not considered that this is excessive or an unacceptable density for an edge of village development. The site layout plan identifies plot sizes that do not appear cramped for the size of property proposed and offer suitably sized private amenity spaces.
- 9.16. Opportunities have been taken throughout the site to retain existing soft landscaping features, whilst also seeking to provide additional planting across the site, particularly on the grass maintenance strip that runs along the southern boundary of the site and up the eastern boundary of the site. It is considered that this helps to soften the visual appearance of the development and ties in with the street scene appearance of Doddington Road, which has a number of existing soft landscaping features to result in a transition between the urban development in Wimblington, and the countryside to the south.
- 9.17. It is overall considered that the proposal is acceptable in terms of its character, appearance and landscape impact, having regard to Policies LP12 and LP16 of the Fenland Local Plan (2014) and Chapter 12 of the NPPF.

### **Residential Amenity**

- 9.18. Each of the plots proposed benefits from an area of private amenity space provision to the rear of the dwelling, the smallest of which measures approximately 35m<sup>2</sup>. It is considered that the garden sizes proposed are acceptable for the size and nature of the house types proposed on site and would provide sufficient private amenity space provision to offer a suitable level of amenities for future occupiers.

- 9.19. In terms of the relationships between the proposed dwellings on the site, these will not give rise to any unacceptable levels of overlooking above that which would generally be expected between two storey properties, particularly those that are semi-detached in nature.
- 9.20. The pairs of one and a half-storey dwellings have a single window at first floor level on the rear elevations which will result in a degree of overlooking on the adjoining property, but it is not considered that this would be unacceptable so as to warrant the refusal of the application.
- 9.21. In terms of the relationships between the proposed properties and existing dwellings adjacent to the site, the closest relationships are between plots 10-14 along the northern boundary of the site, and the adjacent dwellings on Parkfield Lane. These properties are separated by the rear gardens of plots 10-14, which measure approximately 7m in depth.
- 9.22. Plot 10 is a fully single storey property and as such will not have any windows that will result in any degree of overlooking on the property to the north. Plots 11-14 are chalet bungalows with accommodation in the roof spaces. However, the rear roof slope on these properties houses a single velux window that serves an en-suite. The sections of these properties as shown on drawing number CHS-892-P05 Rev C show these windows to start at approximately eye-level and extend upwards. As such, it is not considered that these would result in any degree of overlooking on the existing properties to the north of the site. Nonetheless, a condition restricting permitted development rights that would otherwise allow the alteration of roofs and insertion of roof windows would be necessary.
- 9.23. It is overall considered that the proposals have appropriate regard to Policy LP16 of the Fenland Local Plan in terms of the provision and preservation of residential amenity, and is therefore considered to be acceptable in this regard

### **Flood Risk and Drainage**

- 9.24. The application site is located entirely within Flood Zone 1 but has areas of medium and high risk of surface water flooding on them.
- 9.25. Due to the location of the site within Flood Zone 1, there are no issues to be considered in this regard, giving consideration to Policy LP14 of the Fenland Local Plan and Chapter 14 of the NPPF (2025).
- 9.26. In terms of the surface water flood risk identified on site, it is considered that this is likely as a result of a slight depression in ground levels centrally within the site. It is expected that any works to level out the site as part of the development, along with a suitably designed scheme for surface water drainage would adequately address this.
- 9.27. It should be noted that the LLFA have raised no objections to the proposals based on the submitted Flood Risk Assessment but have requested that conditions be imposed on any permission requiring the submission of a detached scheme for surface water drainage.
- 9.28. In terms of foul water drainage, it is proposed to connect with the mains sewer, and Anglian Water have confirmed that the water recycling centre in Doddington has the capacity to accommodate the waste generated by the proposed dwellings.

- 9.29. It is overall considered that the proposal has appropriate regard to Policy LP14 of the Fenland Local Plan (2014) and Chapter 14 of the NPPF (2025) in terms of flood risk and drainage.

### **Parking Provision and Highway Safety**

- 9.30. As previously highlighted, the proposal is to be served by a single spine road, except for plot 1 which will have its own access. The geometry of Doddington Road is such that both access points will be able to achieve the required visibility splay s on this stretch of road.
- 9.31. Each property will benefit from individual parking provision, with the majority of properties having space for a minimum of two vehicles each. The exception is for plots 11-14 which, due to their 1-bed nature, only require provision of one parking space. In addition to the on-plot parking, some provisions have been made for additional visitor parking, although this is limited to approximately 5 spaces across the site.
- 9.32. It is considered that the level of parking provision shown on the submitted site plan is sufficient to accommodate the needs of the dwellings proposed and should avoid the need for any off-site parking along Doddington Road.
- 9.33. It is noted that the Highway Authority have considered the proposal and have raised no objections subject to conditions ensuring that the development is carried out in accordance with the submitted details. The Highway Authority also noted that the spine road is proposed to be a private road and therefore would not be adopted.
- 9.34. It is overall considered that the proposal has appropriate regard to Policy LP15 of the Fenland Local Plan (2014) in terms of its parking provision and impact on highway safety.

### **Public Right of Way**

- 9.35. Public Footpath 21, Wimblington runs through the eastern part of the site, entering from the northern boundary adjacent to Parkfield Lane, and exiting on the eastern boundary to the A141.
- 9.36. The Definitive Maps Team have advised that there is no legally defined width to this footpath, and therefore it is not possible to definitively confirm the impacts on the public right of way.
- 9.37. However, the site layout has been designed to ensure that development would not infringe on the public right of way. It would be the developer's responsibility to ascertain the legally defined width of the public right of way prior to the commencement of works on site, and to seek a diversion order from the Highway Authority if required. This would sit outside of planning controls.
- 9.38. It is therefore considered on balance that the proposal is acceptable in terms of its impact on the public right of way and would not warrant the refusal of the scheme, although it is recommended that appropriate informative notes are placed on any granted planning permission.

### **Biodiversity Impact**

- 9.39. The application is supported by the submission of a Preliminary Ecological Appraisal and Reptile surveys.
- 9.40. The reports and surveys found that the site has a good population of breeding common lizards on the site, which have a high level of protection under the Wildlife and Countryside Act. The Council Ecologist requested details of potential translocation sites prior to the determination of the application to ensure that it is possible in principle for the lizards to be relocated to an appropriate location.
- 9.41. Details of such a site have been provided and reviewed by the Ecologist. They are satisfied that a suitable receptor site is achievable and as such raise no objection to this in principle. However, it is requested that a condition be imposed requiring the submission of a comprehensive strategy for the translocation of the common lizard population on site.
- 9.42. The Ecologist is satisfied that no other protected species or valuable habitats will be unacceptably harmed as a result of the development but has requested the imposition of conditions to ensure that suitable mitigation and enhancement measures are provided throughout the development.
- 9.43. Following the submission of the additional information throughout the application, it is considered that the proposal has appropriate regard to Policy LP19 in terms of its biodiversity impact.

#### **Biodiversity Net Gain (BNG)**

- 9.44. The Environment Act 2021 requires development proposals to deliver a net gain in biodiversity following a mitigation hierarchy which is focused on avoiding ecological harm over minimising, rectifying, reducing and then off-setting. This approach accords with Local Plan policies LP16 and LP19 which outlines a primary objective for biodiversity to be conserved or enhanced and provides for the protection of Protected Species, Priority Species and Priority Habitat.
- 9.45. There are statutory exemptions, transitional arrangements and requirements relating to irreplaceable habitat which mean that the biodiversity gain condition does not always apply. In this instance, one or more of the exemptions / transitional arrangements are considered to apply and a Biodiversity Gain Condition is not required to be approved before development is begun because the application was submitted prior to the requirement for statutory net gain coming into force.

#### **Community Infrastructure & Planning Obligations**

- 9.46. Local Plan Policy LP13 sets out that planning permission will only be granted if it can be demonstrated that there is, or will be, sufficient infrastructure capacity to support and meet all the requirements arising from the proposed development. Conditions or a planning obligation are likely to be required for many proposals to ensure that new development meets this principle. Developers will either make direct provision or will contribute towards the provision of local and strategic infrastructure required by the development either alone or cumulatively with other developments. Where a planning obligation is required, in order to meet the above principles of infrastructure provision, this will be negotiated on a site-by-site basis. This will be required in addition to the minimum 25% affordable housing requirement as set out in Policy LP5.

9.47. Having regard to the scale and nature of the proposal and further to consultation with statutory bodies to establish infrastructure requirement, in summary contributions towards the following is sought through this development (and as set out in the consultation section above);

- Affordable Housing
- Healthcare (NHS and Ambulance Trusts)

9.48. Such obligations would need to be sought via S106 legal agreement.

9.49. Section 4.2 of the Developer Contributions SPD sets out that for affordable housing led schemes (as in this case), planning obligations will not normally be sought, other than for the provision of affordable homes themselves. In other words, the SPD indicates that financial contributions will not normally be sought against affordable housing schemes of this nature.

9.50. This scheme is proposing to be fully affordable and delivered by a recognised housing provider. As such, it is envisaged that any section 106 legal agreement would seek to ensure that the scheme comes forward as 100% affordable, with the tenure and mix as proposed. In this instance therefore and as per the SPD, the healthcare infrastructure requirements would not be sought on this basis.

### **Resident's Concerns**

9.51. Whilst most resident concerns raised have been addressed above, the following also require attention.

#### *Construction-related issues*

9.52. Whilst construction activities will often result in some degree of unavoidable inconvenience and nuisance at times, a Construction Environmental Management Plan (CEMP) is recommended to be secured via planning condition, to ensure that construction-related pollutants and highway impacts are minimised and mitigated.

#### *Highway flood issues*

9.53 The concerns raised in this regard appear to relate to existing ongoing issues that fall outside of the application site and beyond the remit of the developer to resolve. As set out above, the development has demonstrated that it can operate without increasing risk of flooding elsewhere.

#### *Existing services and infrastructure cannot cope with added properties*

9.54 Whilst it is acknowledged that some services in the district are under pressure, the scheme itself is not so significant as to warrant refusal on this basis, particularly on the basis that it is proposing to address some of the council's shortfall in affordable housing. Nonetheless it is not anticipated that a scheme of this scale would pose any significant risk to existing services.

#### *Two large estates currently being built close to the site*

9.55 Whilst it is acknowledged that a number of housing schemes in the locality are currently under construction, there is nothing to suggest that the addition of this proposed scheme would result in any significant issues as per the assessment above.

#### *Loss of value of existing properties*

9.56 It is established that this is not a material planning consideration as planning acts in the public interest, notwithstanding it has been concluded that residential



amenity, visual impacts and technical matters have been sufficiently addressed or can be made acceptable through compliance with planning conditions.

## **10. CONCLUSIONS**

- 10.1. The proposal seeks full planning permission for the erection of 14no. affordable dwellings on Land off Doddington Road, Wimblington.
- 10.2. The submitted scheme is considered to represent a small village extension on the southern edge of the settlement, which is classed as a 'Growth Village'. It is considered that the location of the site and scale of the development is acceptable in principle in accordance with Policy LP3.
- 10.3. The proposed dwellings are considered to be acceptable in keeping with the surrounding area in terms of their size, scale, external appearance and proposed palette of materials. Further, the proposed mix of dwellings is considered to be suitably varied across the site.
- 10.4. The submitted layout is considered to provide suitable private amenity space provision and the relationships between existing and proposed dwellings such that the amenities enjoyed by existing properties will not be duly harmed. The proposal is considered to satisfy Policy LP16 in terms of character and appearance, and residential amenity.
- 10.5. The application site is located in Flood Zone 1 and is therefore not considered to be at risk of flooding, therefore complying with Policy LP14 and Chapter 14 of the NPPF.
- 10.6. Following the submission of the additional information throughout the application, it is considered that the proposal has appropriate regard to Policy LP19 in terms of its biodiversity impact.
- 10.7. The scheme as submitted proposes a wholly affordable housing scheme which is endorsed by the Council's housing strategy team. This carries substantial positive weight.
- 10.8. It is therefore considered in the overall planning balance that the scheme is acceptable having regard to the development plan taken as a whole and is accordingly recommended for approval.

## **10 RECOMMENDATION**

- 11.1 Members are recommended to APPROVE the application in accordance with the following terms;
  1. The Committee delegates authority to finalise the terms and completion of the S.106 legal agreement and planning conditions to the Head of Planning; and,
  1. Following the completion of the S.106, application F/YR23/0811/F be approved subject to the draft planning conditions set out Appendix 1; or,
  3. The Committee delegates authority to refuse the application in the event that the Applicant does not agree any necessary extensions to the determination

period to enable the completion of the S106 legal agreement or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

## Appendix 1 – Draft Planning Conditions

1.	<p>The development permitted shall be begun before the expiration of 3 years from the date of this permission.</p> <p>Reason - To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004.</p>
2.	<p>No laying of services, creation of hard surfaces or erection of a building shall commence until a detailed design of the surface water drainage of the site has been submitted to and approved in writing by the Local Planning Authority. Those elements of the surface water drainage system not adopted by a statutory undertaker shall thereafter be maintained and managed in accordance with the approved management and maintenance plan. The scheme shall be based upon the principles within the agreed Flood Risk Assessment and Drainage Strategy prepared by Rossi Long Consulting (ref: 221536) dated July 2024 and shall also include:</p> <ul style="list-style-type: none"> <li>a) Full calculations detailing the existing surface water runoff rates for the QBAR, 3.3% Annual Exceedance Probability (AEP) (1 in 30) and 1% AEP (1 in 100) storm events;</li> <li>b) Full results of the proposed drainage system modelling in the above-referenced storm events (as well as 1% AEP plus climate change), inclusive of all collection, conveyance, storage, flow control and disposal elements and including an allowance for urban creep, together with an assessment of system performance;</li> <li>c) Detailed drawings of the entire proposed surface water drainage system, attenuation and flow control measures, including levels, gradients, dimensions and pipe reference numbers, designed to accord with the CIRIA C753 SuDS Manual (or any equivalent guidance that may supersede or replace it);</li> <li>d) Full detail on SuDS proposals (including location, type, size, depths, side slopes and cross sections);</li> <li>e) Site Investigation and test results to confirm infiltration rates;</li> <li>f) Details of overland flood flow routes in the event of system exceedance, with demonstration that such flows can be appropriately managed on site without increasing flood risk to occupants;</li> <li>g) Demonstration that the surface water drainage of the site is in accordance with DEFRA non-statutory technical standards for sustainable drainage systems;</li> <li>h) Full details of the maintenance/adoption of the surface water drainage system;</li> <li>i) Permissions to connect to a receiving watercourse or sewer;</li> <li>j) Measures taken to prevent pollution of the receiving groundwater and/or surface water</li> </ul> <p>Reason: To ensure that the proposed development can be adequately drained and to ensure that there is no increased flood risk on or off site resulting from the proposed development and to ensure that the principles of sustainable drainage can be incorporated into the development, noting that</p>

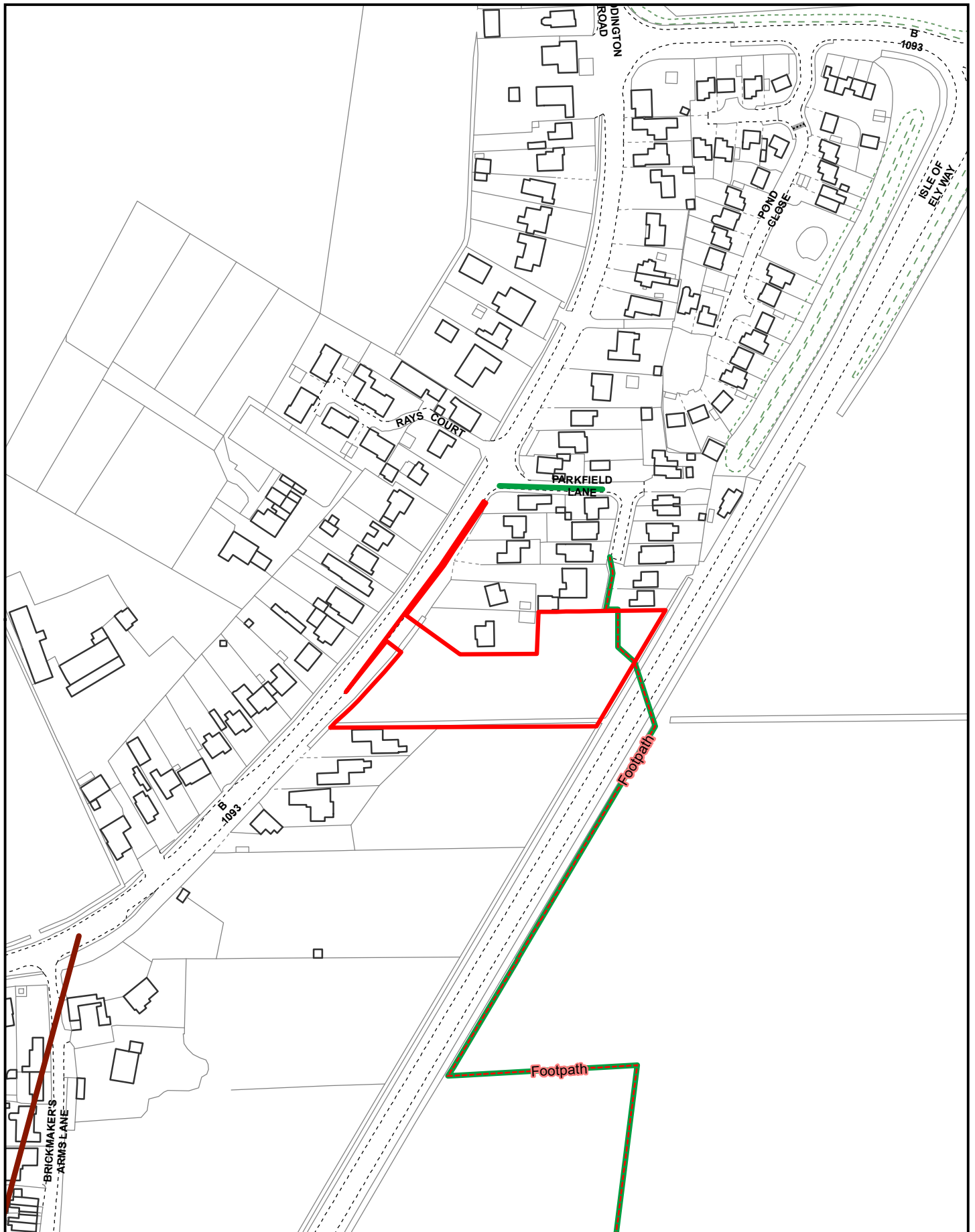
	initial preparatory and/or construction works may compromise the ability to mitigate harmful impacts, in accordance with Policy LP14 of the Fenland Local Plan (2014) and Chapter 14 of the NPPF.
3.	<p>No development, including preparatory works, shall commence until details of measures indicating how additional surface water run-off from the site will be avoided during the construction works have been submitted to and approved in writing by the Local Planning Authority. The applicant may be required to provide collection, balancing and/or settlement systems for these flows. The approved measures and systems shall be brought into operation before any works to create buildings or hard surfaces commence.</p> <p>Reason: To ensure surface water is managed appropriately during the construction phase of the development, so as not to increase the flood risk to adjacent land/properties or occupied properties within the development itself; recognising that initial works to prepare the site could bring about unacceptable impacts, in accordance with Policy LP14 of the Fenland Local Plan (2014) and Chapter 14 of the NPPF.</p>
4.	<p>Prior to the commencement of any development, a scheme for the provision and implementation of foul water drainage shall be submitted and agreed in writing with the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details before the relevant parts of the development are first brought into use and thereafter retained in perpetuity.</p> <p>Reason: To ensure a satisfactory method of foul water drainage and to prevent the increased risk of pollution to controlled waters in accordance with Policy LP14 of the Fenland Local Plan 2014.</p>
5.	<p>Prior to any work commencing on the site a Construction Environmental Management Plan (CEMP) shall be submitted to and agreed in writing with the Local Planning Authority regarding mitigation measures for noise, dust and lighting during the construction phase. These shall include, but not be limited to, other aspects such as access points for deliveries and site vehicles, and proposed phasing/timescales of development etc. The CEMP shall be adhered to at all times during all phases.</p> <p>Reason: To safeguard the residential amenity of neighbouring occupiers, in accordance with policies LP2 and LP16 of the Fenland Local Plan, adopted May 2014. The condition is pre-commencement as it would be unreasonable to require applicants to undertake this work prior to consent being granted.</p>
6.	<p>Prior to the occupation of the proposed development hereby approved the accesses from the public highway will be constructed in accordance with the Site Plan, drawing no. CHS_892-P03 Rev. H.</p> <p>Reason: In the interests of highway safety and in accordance with Policy LP15 of the Fenland Local Plan 2014.</p>
7.	The proposed accesses are to be constructed using a bound material, for 10 metres back from the adopted highway, to prevent debris spreading onto the adopted public highway.

	Reason: In the interests of highway safety
8.	<p>Prior to the first occupation of the development hereby approved, visibility splays shall be provided from the proposed access, in full accordance with the details indicated on the submitted Site Plan, drawing no. CHS-892-P03 Rev. H, and shall be maintained free from any obstruction over a height of 600 mm.</p> <p>Reason: In the interests of highway safety in accordance with Policy LP15 of the Fenland Local Plan 2014.</p>
9.	<p>The proposed vehicular accesses shall be constructed so that its falls and levels are such that no private surface water from the site drains across or onto the adopted public highway.</p> <p>Reason: for the safe and effective operation of the highway as required by Policy LP19 of the Fenland Local Plan (2014).</p>
10.	<p>Prior to the occupation of the first dwelling, full details of the proposed arrangements for future management and maintenance of the proposed streets within the development shall be submitted to and approved in writing by the Local Planning Authority. The streets shall thereafter be maintained in accordance with the approved management and maintenance details until such time as an Agreement has been entered into unto Section 38 of the Highways Act 1980 or a Private Management and Maintenance Company has been established.</p> <p>Reason: To ensure satisfactory development of the site and to ensure estate roads are managed and maintained thereafter to a suitable and safe standard, in accordance with policy LP15 of the Fenland Local Plan, adopted May 2014.</p>
11.	<p>Prior to the first occupation of the development hereby permitted a footway of a minimum width of 2 metres shall be provided along Doddington Road, as shown in principle on Site Plan, drawing no. CHS-892-P03 Rev. H, in accordance with a detailed engineering scheme to be submitted to and approved in writing by the Local Planning Authority.</p> <p>Reason: To ensure that the highway network is adequate to cater for the development proposed, in accordance with Policy LP19 of the Fenland Local Plan (2019).</p>
12.	<p>Prior to the commencement of any works or storage of materials on the site all trees that are to be retained shall be protected in accordance with British Standard 5837:2012. Moreover, measures for protection in accordance with that standard, which shall be submitted to and agreed in writing by the LPA prior to commencement of works on site, shall be implemented and maintained to the Local Planning Authority's reasonable satisfaction until the completion of the development for Building Regulations purposes.</p> <p>Reason: To ensure that retained trees are adequately protected in accordance with Policies LP16 and LP19 of the Fenland Local Plan, adopted May 2014.</p>

13.	<p>No development above slab level shall take place until a scheme for the hard and soft landscaping of the site has been submitted to and approved in writing by the Local Planning Authority. Subsequently, these works shall be carried out as approved. The landscaping details to be submitted shall include:-</p> <ul style="list-style-type: none"> <li>a) proposed finished levels</li> <li>b) means of enclosure</li> <li>c) car parking layout</li> <li>d) vehicle and pedestrian access and circulation areas</li> <li>e) existing trees, hedges or other soft features to be retained</li> <li>f) details of planting or features to be provided to enhance the value of the development for biodiversity and wildlife (including the bat and bird boxes, hedgehog domes and reptile habitat identified in the ecological surveys undertaken in respect of the development)</li> <li>g) details of siting and timing of all construction activities to avoid harm to all nature conservation features</li> <li>h) location of service runs</li> <li>i) management and maintenance details</li> </ul> <p>The approved hard landscaping shall be carried out with regard to the dwelling to which it relates, prior to the occupation of that dwelling and the soft landscaping shall be carried out within the first available planting season following completion of the development or first occupation (whichever is the sooner) or alternatively in accordance with a timetable for landscape implementation which has been approved as part of the submitted landscape scheme.</p> <p>Reason: The landscaping of this site is required in order to protect and enhance the existing visual character of the area and to reduce the visual and environmental impacts of the development hereby permitted in accordance with Policy LP16 of the Fenland Local Plan 2014.</p>
14.	<p>Prior to the commencement of the development a scheme and timetable for the provision of fire hydrants shall be submitted to, and agreed in writing by, the Local Planning Authority in consultation with the Chief Fire Officer and provision of the fire hydrants shall be made in accordance with the scheme and timetable.</p> <p>Reason: To ensure a satisfactory form of development in accordance with Policies LP2 and LP16 of the Fenland Local Plan (2014).</p>
15.	<p>No demolition/development shall commence until the applicant, or their agents or successors in title, has implemented a programme of archaeological work, commencing with the evaluation of the application area, that has been secured in accordance with a Written Scheme of Investigation (WSI) that has been submitted to and approved by the Local Planning Authority in writing. For land that is included within the WSI, no demolition/development shall take place other than under the provisions of the agreed WSI, which shall include:</p> <ul style="list-style-type: none"> <li>a. The statement of significance and research objectives;</li> <li>b. The programme and methodology of investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works;</li> <li>c. The timetable for the field investigation as part of the development</li> </ul>

	<p>programme; d. The programme and timetable for the analysis, publication &amp; dissemination, and deposition of resulting material and digital archives.</p> <p>Reason: To safeguard archaeological assets within the approved development boundary from impacts relating to any demolitions or groundworks associated with the development scheme and to ensure the proper and timely preservation and/or investigation, recording, reporting, archiving and presentation of archaeological assets affected by this development, in accordance with Policy LP18 of the Fenland Local Plan (2014), and national policies contained in the National Planning Policy Framework (DLUHC 2023)</p>
16.	<p>Prior to the commencement of any works above slab level, full details of the materials to be used for the external walls and roof shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be carried out in accordance with the approved particulars and retained in perpetuity thereafter.</p> <p>Reason: To safeguard the visual amenities of the area in accordance with Policy LP16 of the Fenland Local Plan, 2014.</p>
17.	<p>Prior to the commencement of works above slab level, a biodiversity enhancement plan shall be submitted and approved in writing by the local planning authority, detailing the biodiversity enhancement measures to be provided on site and timescales for their implementation. The measures shall be carried out strictly in accordance with the approved scheme and timescales.</p> <p>Reason: To ensure compliance with the requirements of Policy LP19 of the Fenland Local Plan (2014).</p>
18.	<p>Prior to the commencement of the development hereby approved, a comprehensive Reptile Mitigation Strategy shall be submitted to an approved by the Local Planning Authority. Any such approved scheme shall be fully implemented in accordance with the timeframes set out in the strategy.</p> <p>Reason: Conservation of species protected under the terms of the Wildlife and Countryside Act 1981 (as amended).</p>
19	<p>Notwithstanding the provisions of the Town &amp; Country Planning (General Permitted Development) (England) Order 2015, (or any Order or Statutory Instrument revoking and re-enacting that Order with or without modification), planning permission shall be required for the following developments or alterations:</p> <p>i) alterations including the installation of additional windows or doors, including dormer windows or roof windows (as detailed in Schedule 2, Part 1, Classes A and B);</p> <p>Reasons: To prevent overlooking of neighbouring properties, in the interest of the protection of residential amenity, as required by Policy LP16 of the Fenland</p>

	Local Plan (2014).
20.	Approved Plans



Created on: 25/10/2023

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**F/YR23/0811/F**

Scale = 1:2,500





BOUNDARY TREATMENTS:

- 1.8m Close Boarded Fence**  
1.8m high close boarded timber fence with concrete gravel borders at changes of level where required and hedgehog holes at each boundary.
- Estate Railings**  
1050mm high painted steel estate railings where indicated.
- Acoustic Fencing**  
2.4m high timber acoustic fencing by Jackson Fencing or equal.
- Boundary Walls**  
New 1.8m high garden boundary walls in facing brick to match dwellings with brick on edge coping.
- 450mm High Knee Rail Fence**  
450mm high timber knee rail fence to plot boundaries as indicated.
- Existing Boundary Fence No.47**  
New boundary fence to boundary of No.47 to be re-surveyed.

SOFT LANDSCAPING:

- Rear Gardens**  
Rear gardens turfled with cultivated borders to boundaries and adjacent to dwelling. Margins next to building to be gravelled.
- Front Gardens**  
Front gardens to be turfled with shrub / hedge borders as indicated.
- Managed Grassland**  
Native grass and wildflower mix maintained by landlord.
- Open Space / Landscape Buffer**  
The existing area of trees to the east of the site is to be retained as a landscape buffer to the Ely Way to act as a wildlife area and sound barrier.
- Existing Trees**  
Existing trees to be retained.
- Existing Trees / Hedges Removed**  
Existing trees removed.
- New Medium Sized Tree Planting**  
New heavy standard native trees to approval of Local Authority.
- Shrub Planting**  
Ground cover shrub planting to front of dwellings as indicated to approval of Local Authority. To rear gardens, beds left ready for residents to plant.
- New Native Rich Hedges**  
New hedges as indicated to approval of LPA. All new hedges abutting road to be low level, 600mm high max.
- Maintenance**  
All communal landscaping will be maintained by the Landlord.
- ECOLOGY:**
- bat
  - swt
  - kes
- Bat Boxes (5nr.)**  
Integrated bat boxes mounted above 4m high as Ecologist's recommendations.
- Swift Boxes (5 x 3nr.)**  
Integrated swift boxes mounted above 5m high as Ecologist's recommendations.
- Kestrel Box (1nr.)**  
Pole mounted above 4m high as Ecologist's recommendations.

HARD LANDSCAPING:

- Adoptable Highway**  
New highway junction, crossovers and footpath to be designed and constructed to CCC Highway adoption requirements.
- Private Road**  
Permeable block setts paving. Regular or similar to approval of local planning authority.
- Private Drives**  
Permeable block setts paving to approval of local planning authority.
- Private Paths / Patios**  
Private footpaths and patios formed with 450 x 450mm slabs to approval of local planning authority.

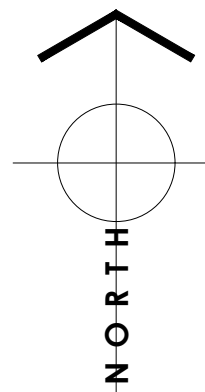
OTHER:

- Refuse Bins**  
Location of refuse bin storage within curtilage of dwellings.
- Timber Sheds**  
Location of timber sheds within gardens providing cycle storage.
- Visitor Parking Locations**
- Lighting**  
Private lighting to be designed to approval of Cambridgeshire Constabulary.
- Proposed Ground Level**  
Preliminary levels based on existing ground levels. To be confirmed by Civil Engineer. Generally finished floor levels to be 150mm above existing ground levels.

GREEN TECHNOLOGY:

- Car Charging Point**  
Fully installed bollard or wall mounted car charging points.
- Air Source Heat Pump (ASHP) Location**  
Location of air source heat pumps mounted on paving slabs with gravel margin to service area.
- Photovoltaic Panels Location**  
PV panels to be located on south or west facing roof slopes. Refer to elevation drawings.

NOTES:



Site Plan

0 1 2 5 10 12.5m  
scale 1:250

Revisions		
Suffix	Date	Amendments
A	07-02-23	Drainage strategy added / levels updated
B	15-03-23	do not scale removed, north point removed
C	05-07-23	Ecology Enhancements Added
D	22-11-23	Highway and drainage revisions
E	13-02-24	Redesign to respond to planning comments.
F	18-04-24	Redesign to respond to planning comments.
G	12-06-24	Acoustic fencing line type (clarification)
H	15-10-24	Retained trees updated / new trees
I	-	Turning head showing tracking
J	10-12-24	Turning head extended / hedge description updated.

Planning Submission



Job Title  
Proposed 14 Affordable Dwellings  
Land South of 47 Doddington Rd, Wimlington  
for Cambridge Housing Society

Drawing Title  
PLANNING SUBMISSION  
Site Plan

Date	Scale	Dwn	Dwg. No.	Rev.
Nov.2022	1:250 @ A1	PD	CHS-892-P03	J

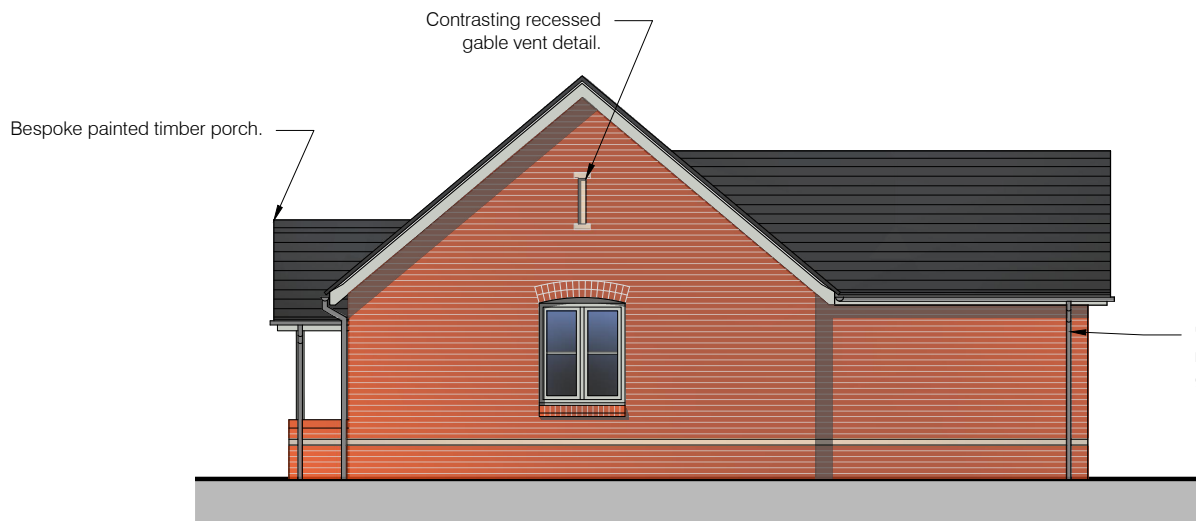




Side Elevation Plots 1-3 & 10 (handed)



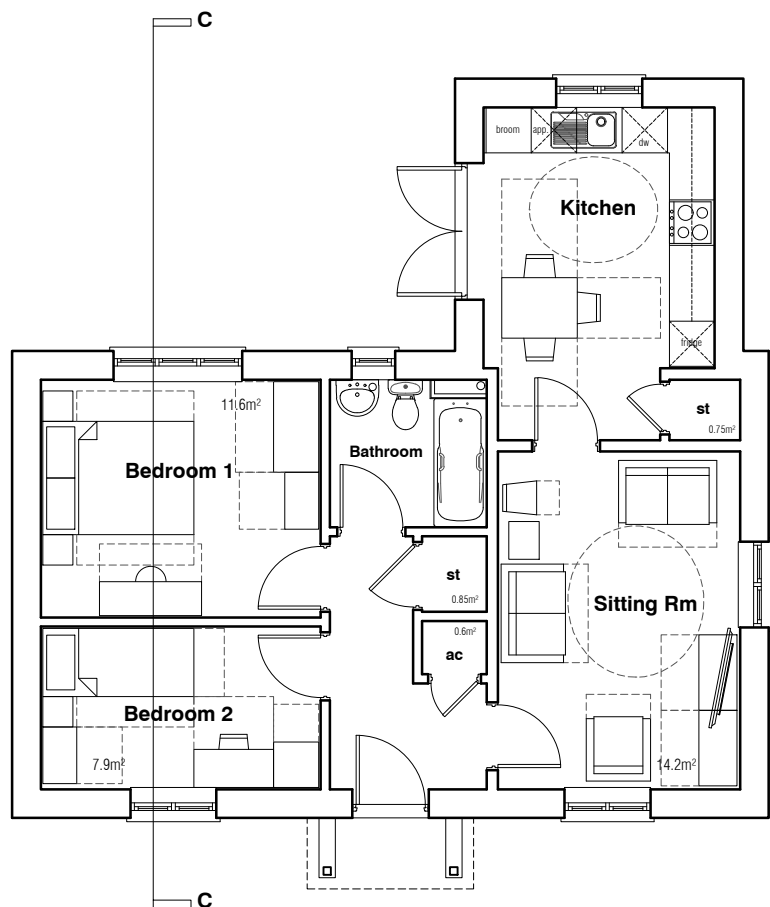
Front Elevation Plots 1-3 & 10



Side Elevation Plots 1-3 & 10 (handed)

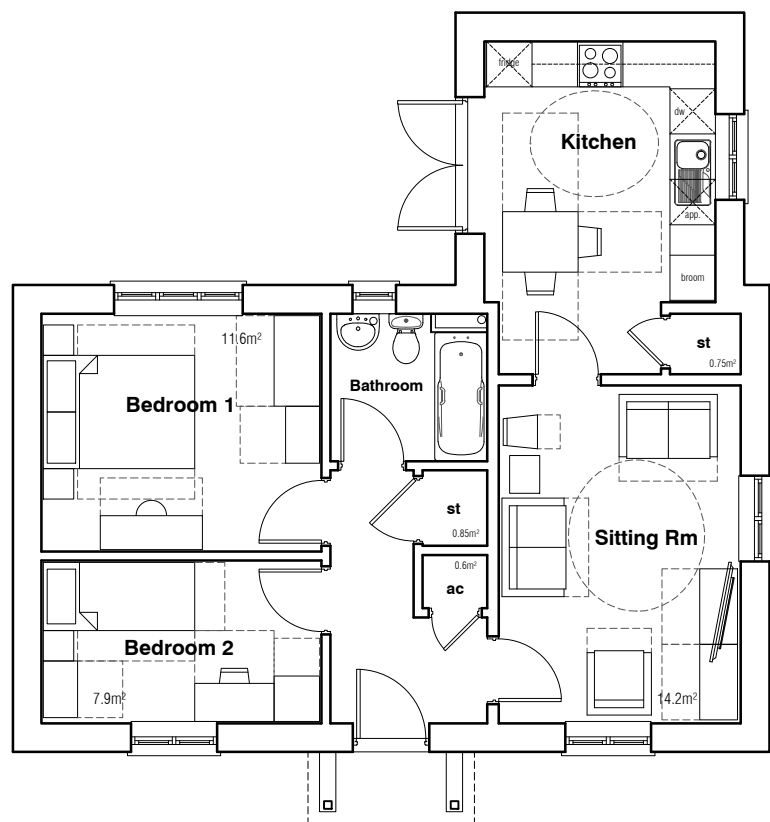


Rear Elevation Plots 1-3 & 10 (handed)



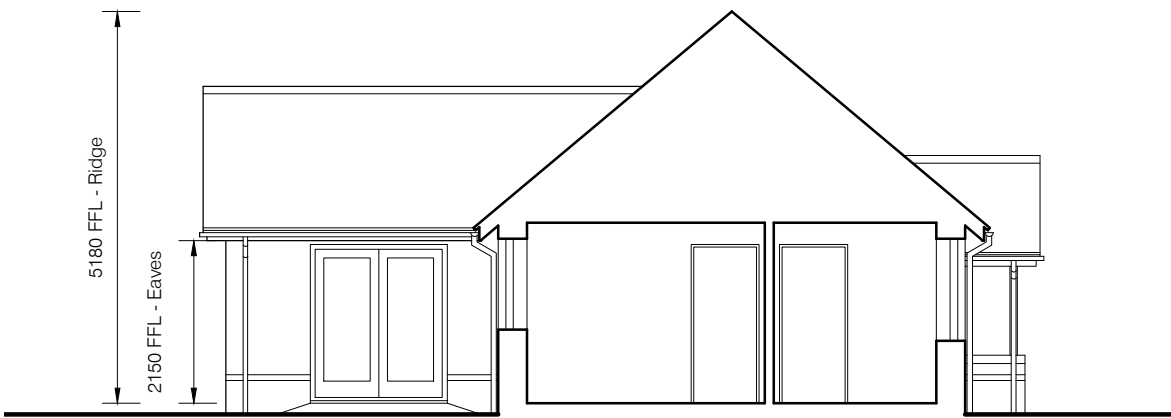
Type 2BB (GFA = 61m²)

Floor Plan Plots 1, 3 & 10 (handed)



Type 2BB (GFA = 61m²)

Floor Plan Plot 2



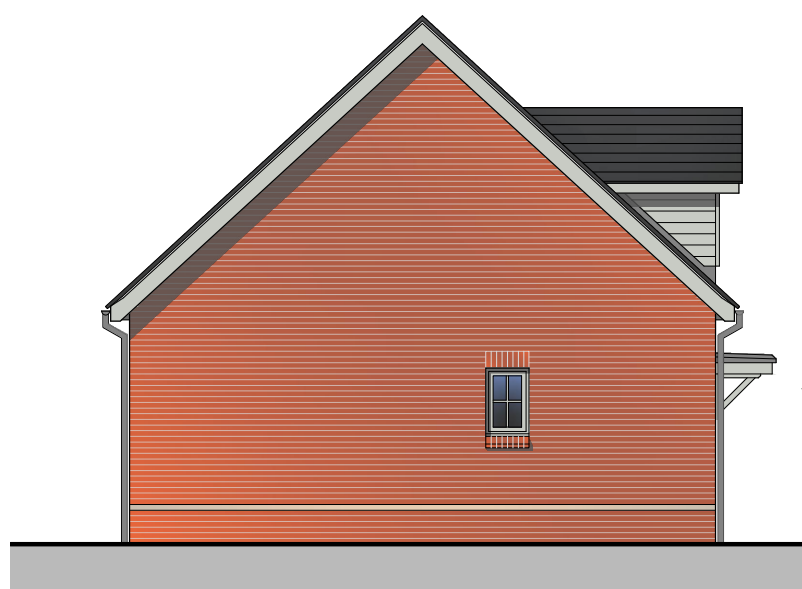
Section CC - Plots 1-3 & 10



Side Elevation Plot 2



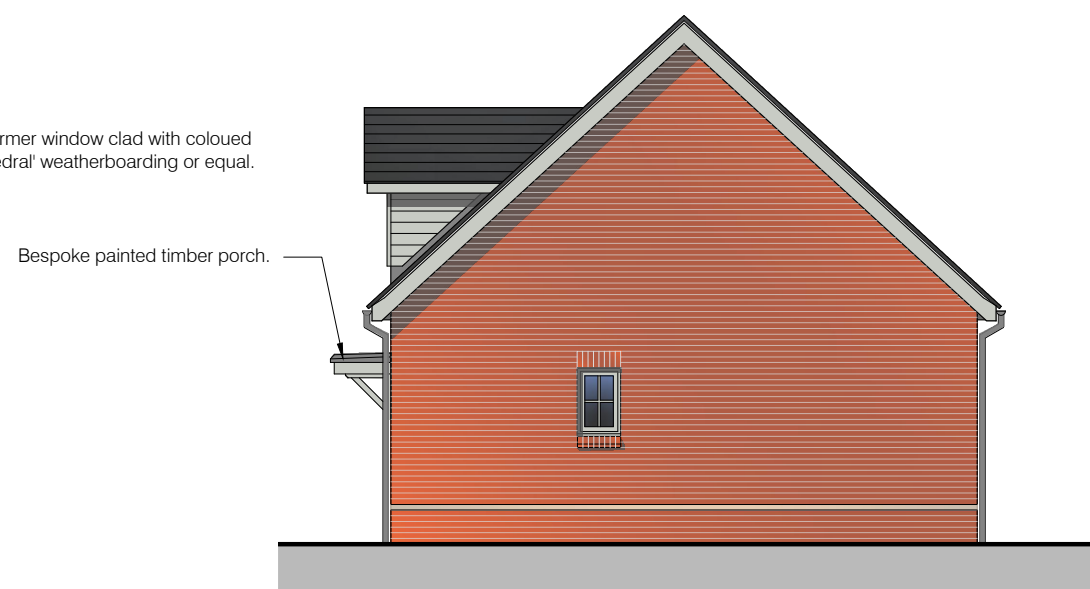
Rear Elevation Plot 2



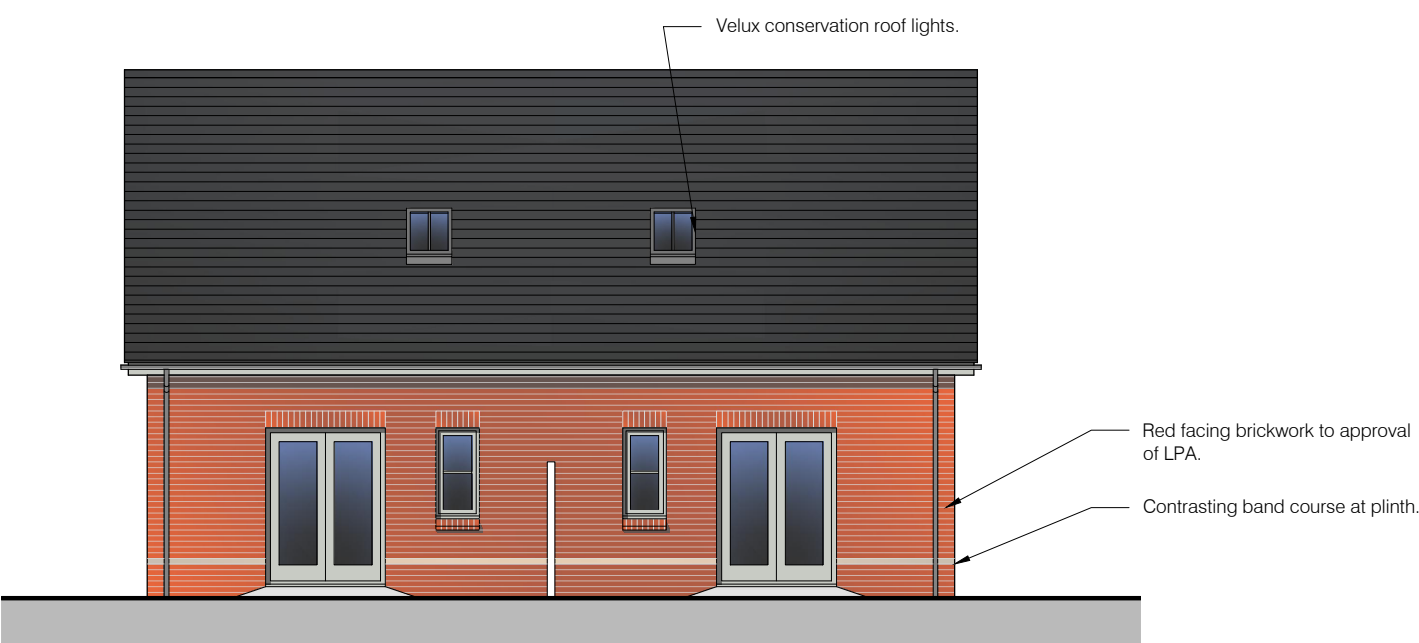
Side Elevation Plots 11-14



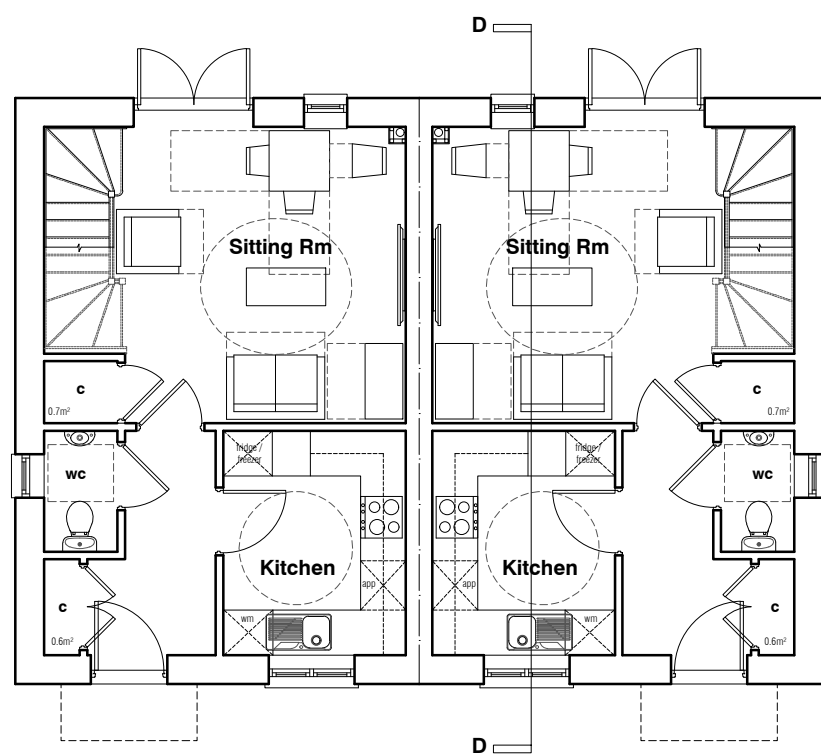
Front Elevation Plots 11-14



Side Elevation Plots 11-14

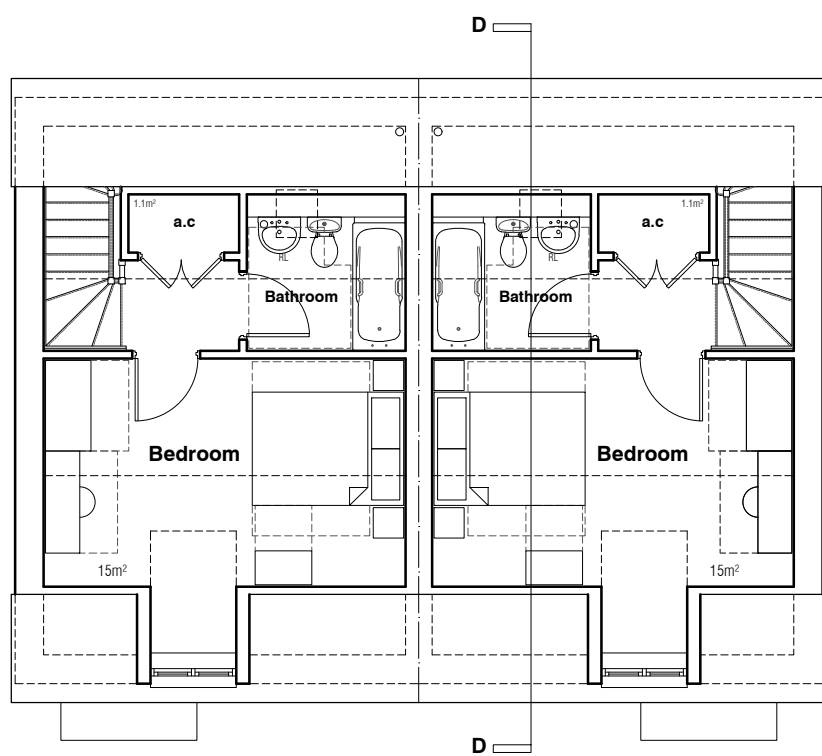


Rear Elevation Plots 11-14

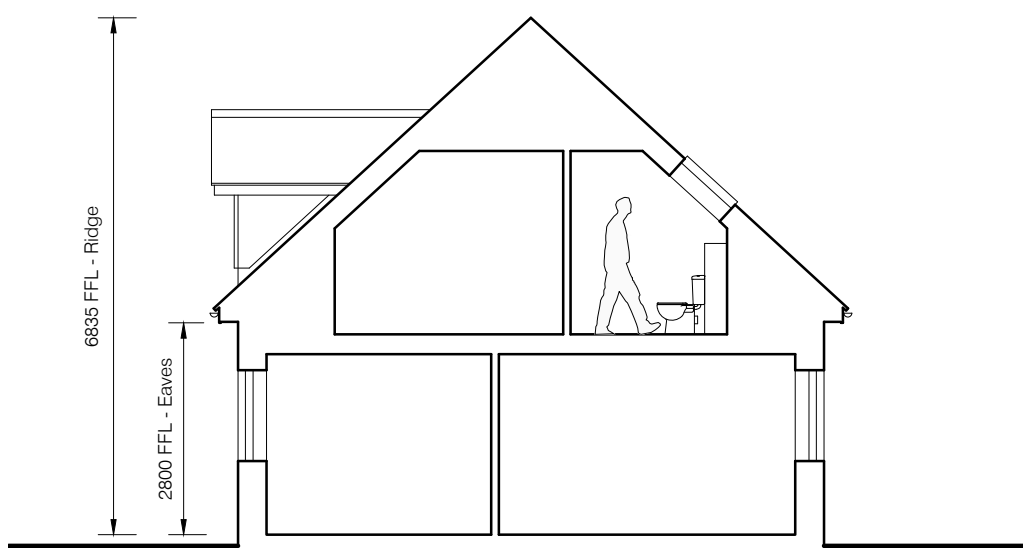


Type 1B (GFA = 58.3m²)

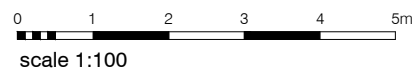
Ground Floor Plan plots 11-14



First Floor Plan plots 11-14

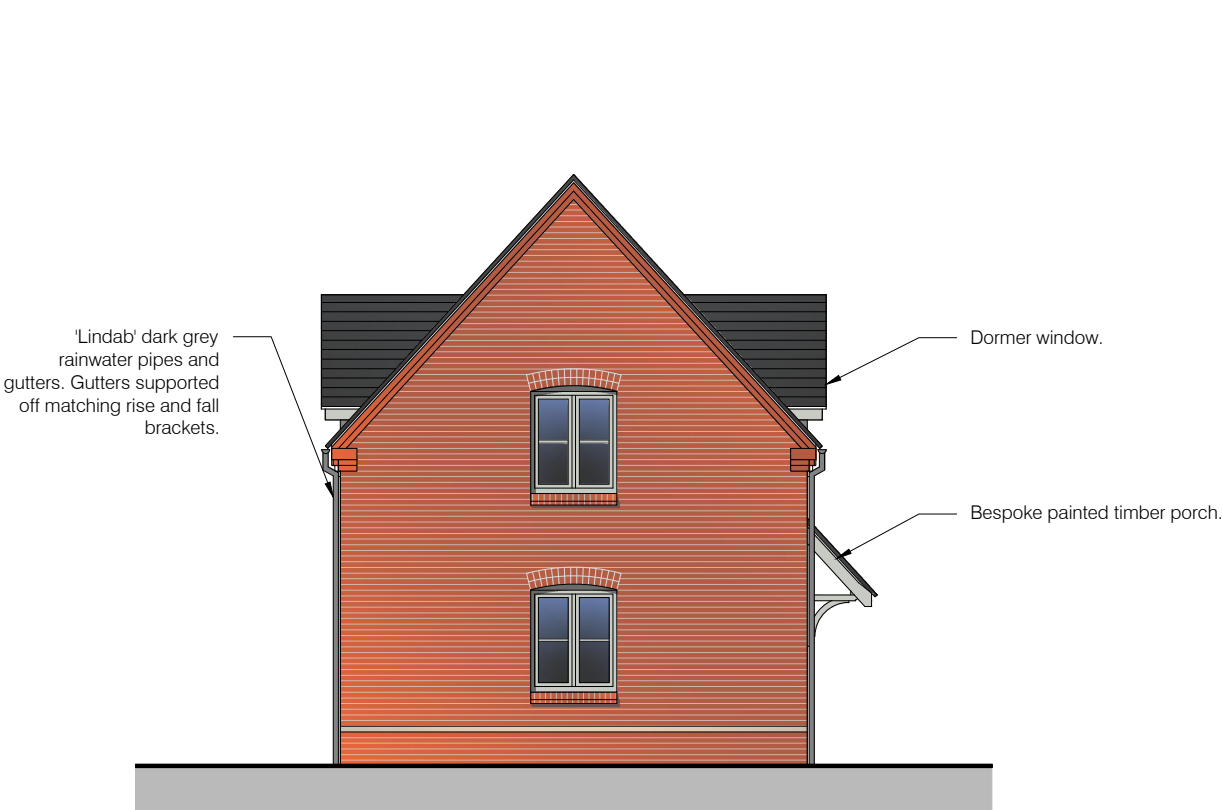


Section DD - Plots 11-14



Revisions				
Suffix	Date	Amendments		
A	Feb 24	New Bungalow Layouts		
B	18-04-24	New house types		
C	12-06-24	Plot 2 Elevation - side window Handing note added.		
Status				
Planning Submission				
<div><div></div><div><div>The Design Partnership</div><div>The Design Partnership (Ely) Ltd Claremont House, 10 Station Road, Chatteris Cambridgeshire PE16 6AG Tel: 01354 693111</div></div></div>				
Job Title				
Proposed 14 Affordable Dwellings Land South of 47 Doddington Rd, Wimbington for Cambridge Housing Society				
Drawing Title				
PLANNING SUBMISSION Plans and Elevations One Bed Houses & Bungalows Plots 1-3 & 10-14				
Date	Scale	Drwn	Dwg. No.	Rev.
Feb 2024	1:100@A1	PD	CHS-892-P05	C

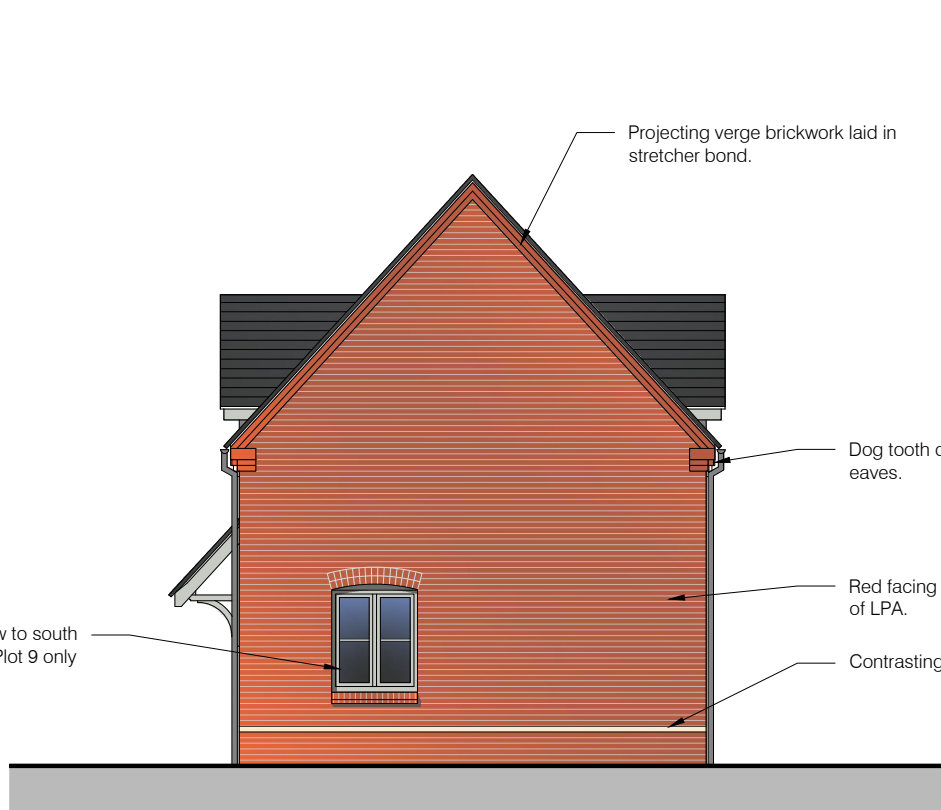




Side Elevation - Plots 4 (handed) & 9



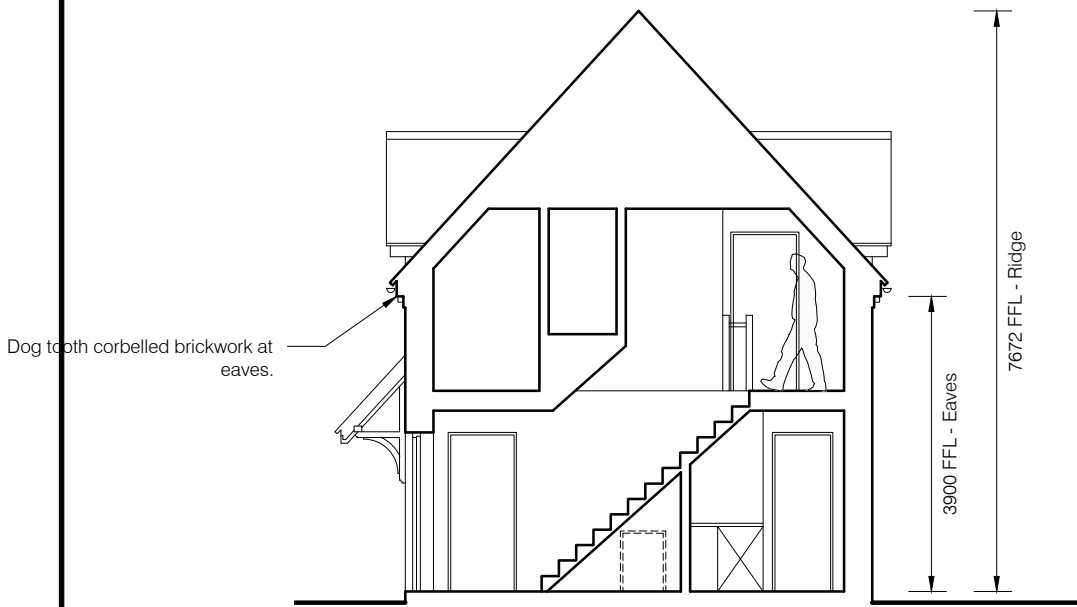
Front Elevation - Plots 4 & 9



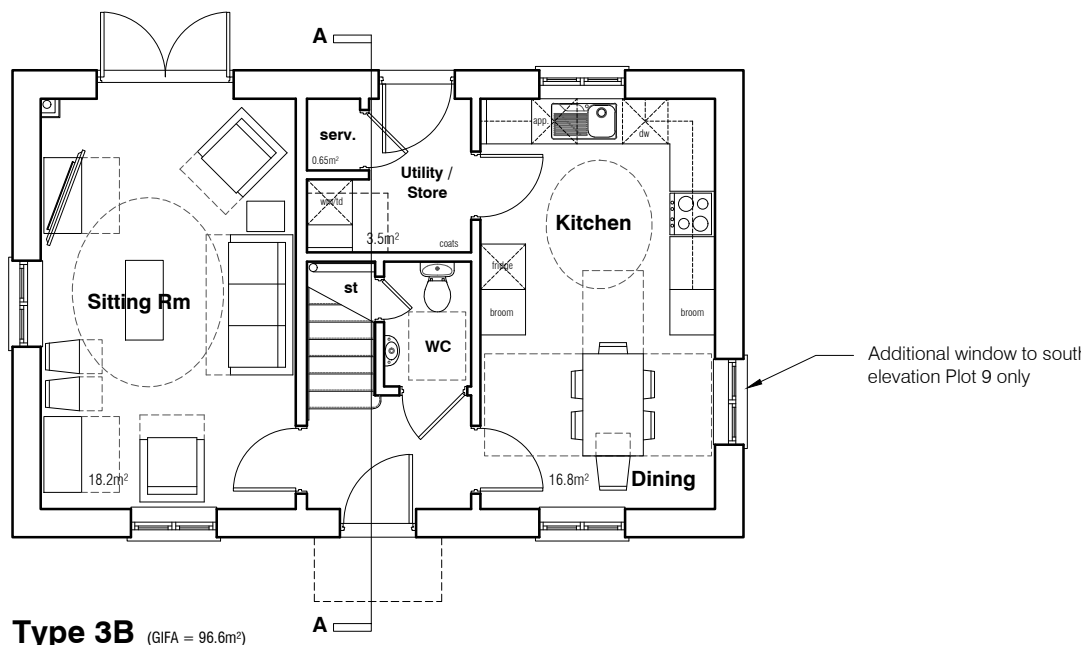
Side Elevation - Plots 4 (handed) & 9



Rear Elevation - Plots 4 (handed) & 9

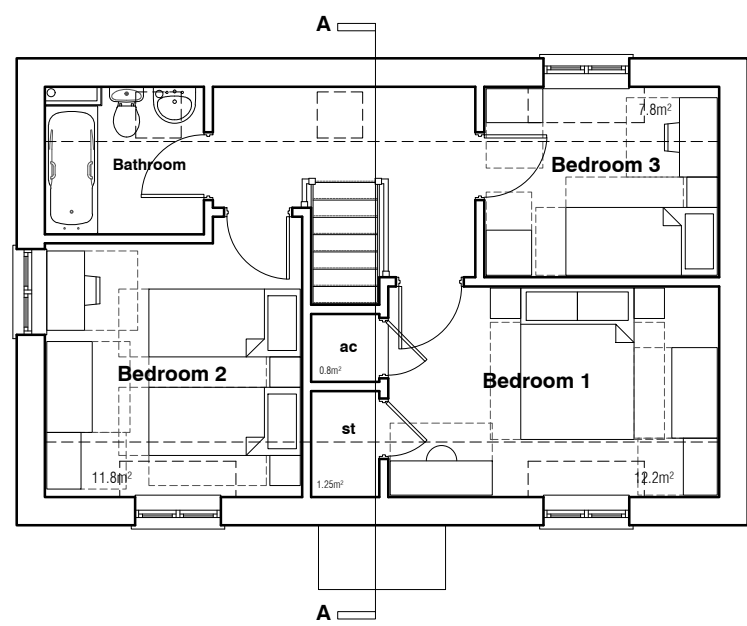


Section AA - Plots 4 & 9



Type 3B (GFA = 96.6m²)

Ground Floor Plan - Plots 4 (handed) & 9



First Floor Plan - Plots 4 (handed) & 9



Side Elevation - Plots 5-8



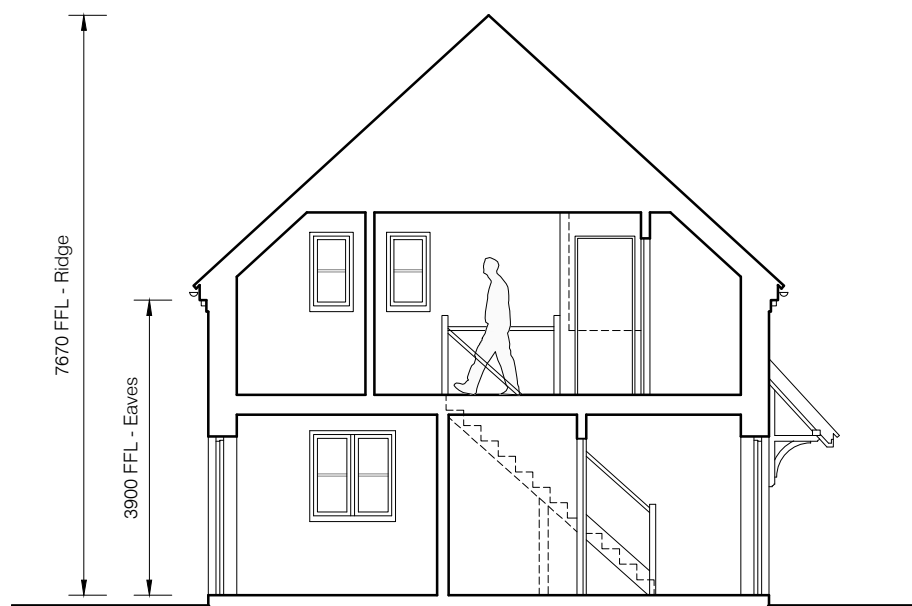
Front Elevation - Plots 5-8



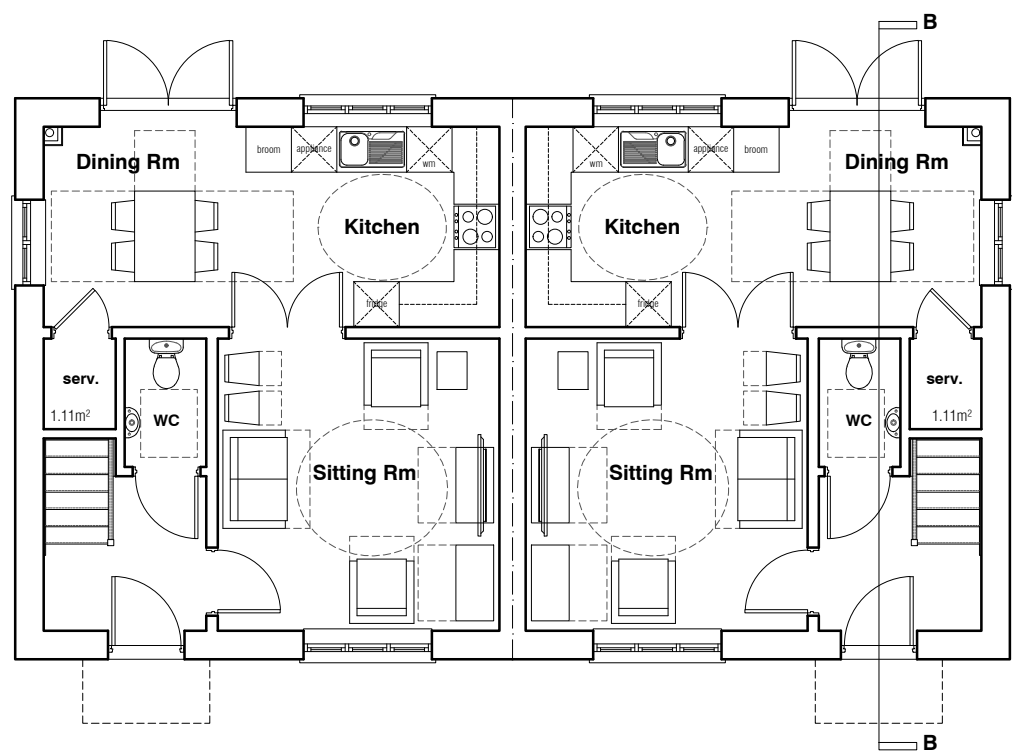
Side Elevation - Plots 5-8



Rear Elevation - Plots 5-8



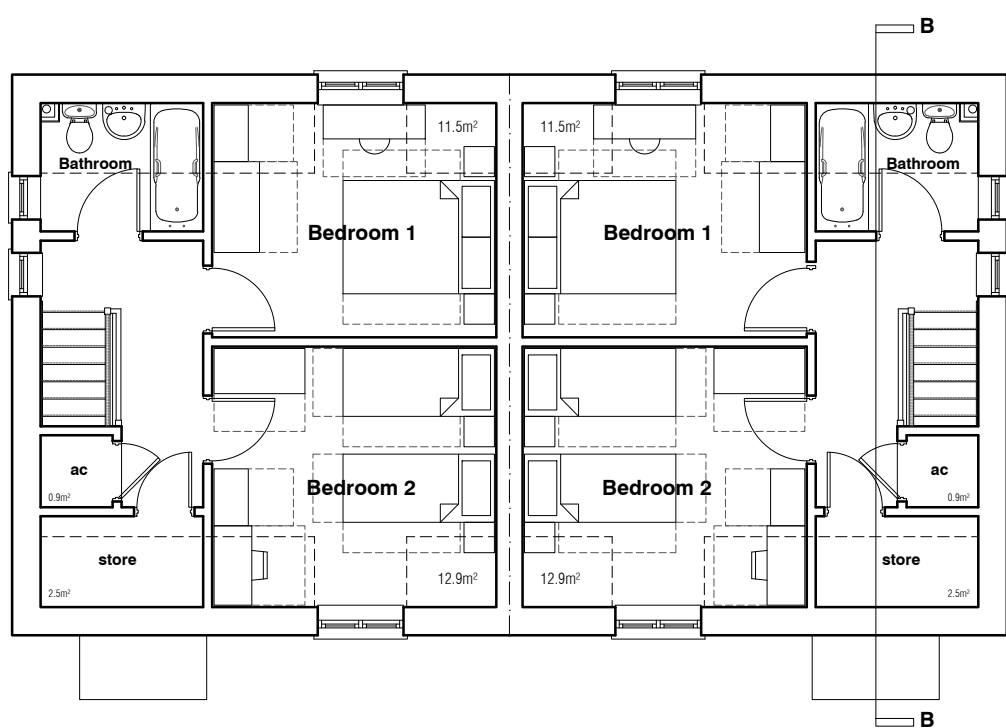
Section BB - Plots 5-8



Type 2B (GFA = 80.2m²)

Type 2B (GFA = 80.2m²)

Ground Floor Plan - Plots 5-8



First Floor Plan - Plots 5-8

Revisions		
Suffix	Date	Amendments
A	15-03-23	do not scale removed, north point removed
B	Feb 24	Plot numbers amended to suit Site Plan
C	18-04-24	Plot numbers amended to suit Site Plan
D	12-06-24	Handing added Plot 4
Status		
Planning Submission		



The Design Partnership

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Job Title

Proposed 14 Affordable Dwellings  
Land South of 47 Doddington Rd, Wimlington  
for Cambridge Housing Society

Drawing Title

PLANNING SUBMISSION  
Plans and Elevations Plots 4-9  
Two and Three Bedroom House Types

Date	Scale	Drwn	Dwg. No.	Rev.
Nov.2022	1:100@A1	PD	CHS-892-P04	D